



**DEVELOPMENT PERMIT NO. DP000966**

**628295 BC LTD**

**Name of Owner(s) of Land (Permittee)**

**1629 BOWEN ROAD**

**Civic Address**

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

**THAT PART OF LOT 4, SECTION 14, RANGE 8, MOUNTAIN DISTRICT,  
PLAN 2406, SHOWN OUTLINED IN RED ON PLAN 660R, EXCEPT THAT  
PART ON PLAN 34920**

**PID No. 005-314-232**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.


**Schedule A   Location Plan**  
**Schedule B   Site Plan**  
**Schedule C   Building Elevations**  
**Schedule D   Landscape Plan**  
**Schedule E   Building Renderings**



- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
- 4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

REVIEWED AND APPROVED ON

2016 - FEB - 2.  
Date

  
D. Lindsay  
Director

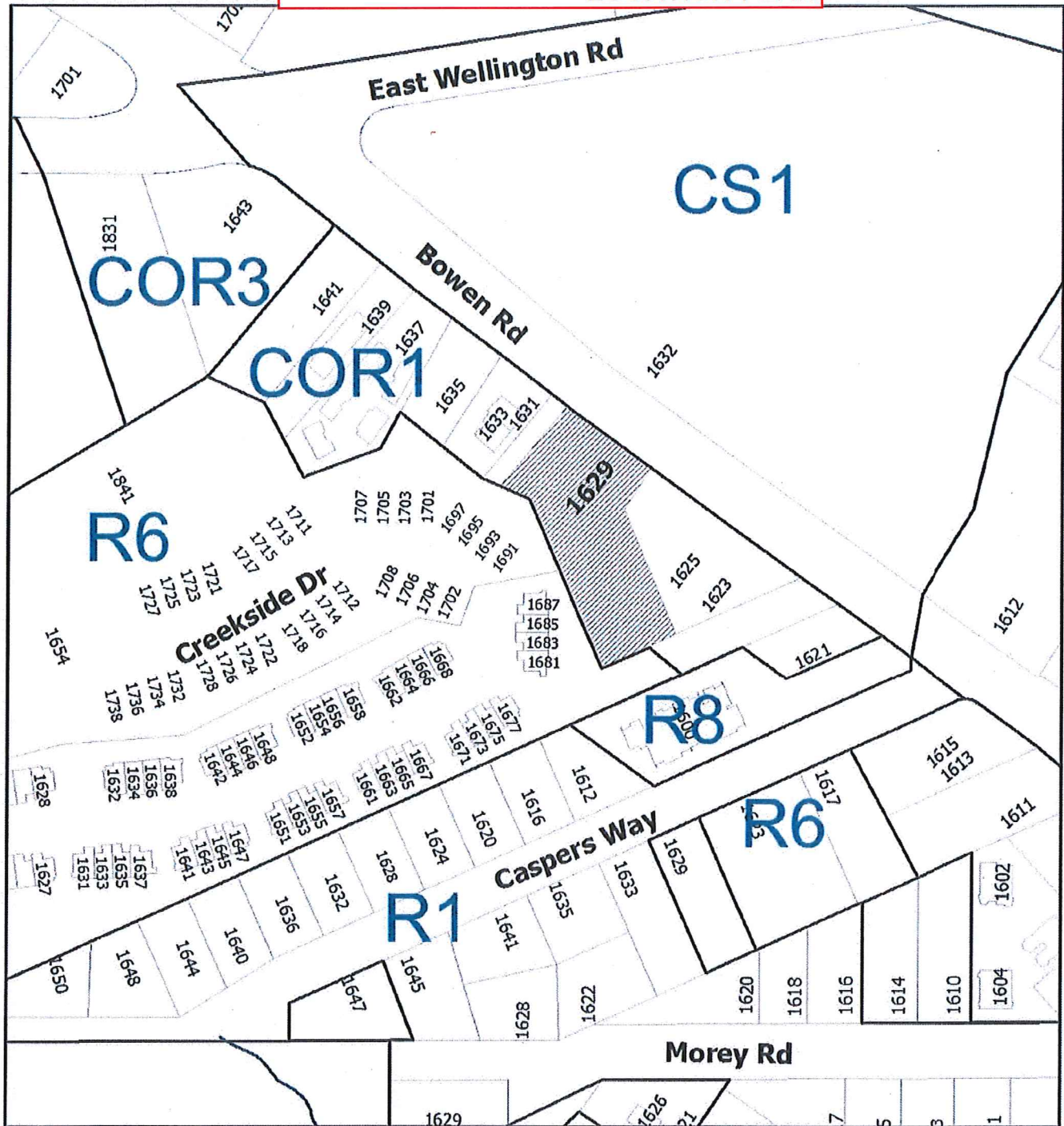
**Community Development**  
Pursuant to Section 154 (1)(b) of the Community Charter

GN/in

Prospero attachment: DP000966



## LOCATION PLAN



DEVELOPMENT PERMIT NO. DP000966

## LOCATION PLAN

Civic: 1629 Bowen Road

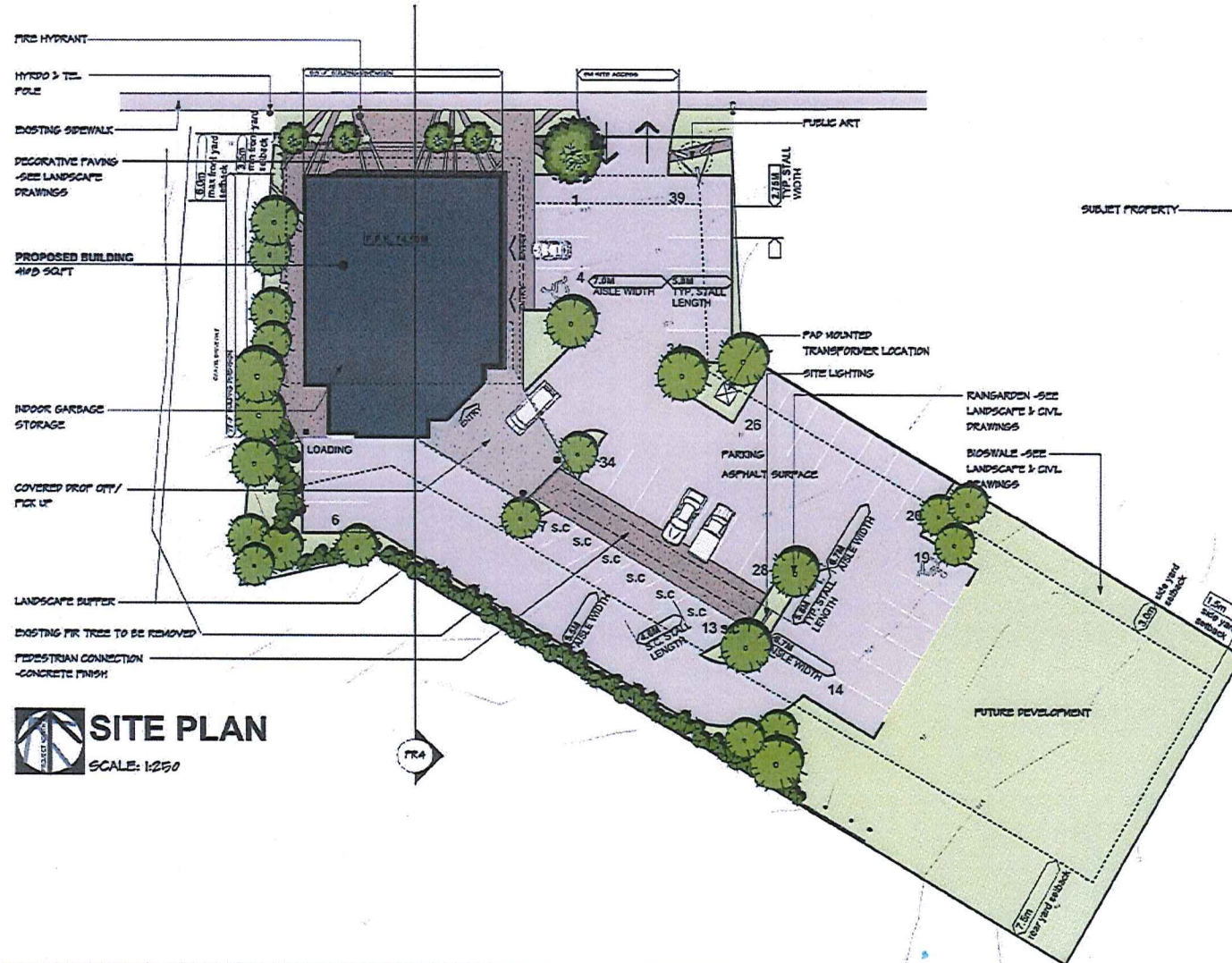
That Part of Lot 4, Section 14, Range 8, Mountain District,  
Plan 2406, Shown outlined in red on Plan 660R, Except  
Part in Plan 34920



**Subject  
Property**



BOWEN ROAD



AERIAL  
NOT TO SCALE

PROJECT DATA:

**LEGAL DESCRIPTION:**  
THAT PART OF LOT 4, SECTION 14, RANGE 8, MOUNTAIN DISTRICT, PLAN 2406, SHOWN OUTLINED IN RED ON PLAN 34920, EXCEPT THAT PART ON PLAN 34920

**CIVIC ADDRESS:**  
1629 BOWEN ROAD

**LOT AREA:**  
± 3280 sq.m.

**LAND USE:**  
MEDICAL OFFICE

**ZONING:**  
COR 1 - RESIDENTIAL CORRIDOR

**LOT COVERAGE (MAX 40%):**  
22.6%

**BUILDING AREA:**  
BUILDING 1  
MAIN FLOOR 4108 sq.ft. (381.6 m<sup>2</sup>)  
UPPER FLOOR 3835 sq.ft. (356.3 m<sup>2</sup>)  
TOTAL 7943 sq.ft. (737.9 m<sup>2</sup>)

**PARKING:**  
REQ'D 737.9 @ 1/18M<sup>2</sup> NET ± 37 STALLS  
PROV'D 39 STALLS

PROPOSED MEDICAL OFFICE

1629 Bowen Road  
Nanaimo, B.C.

DELINCA

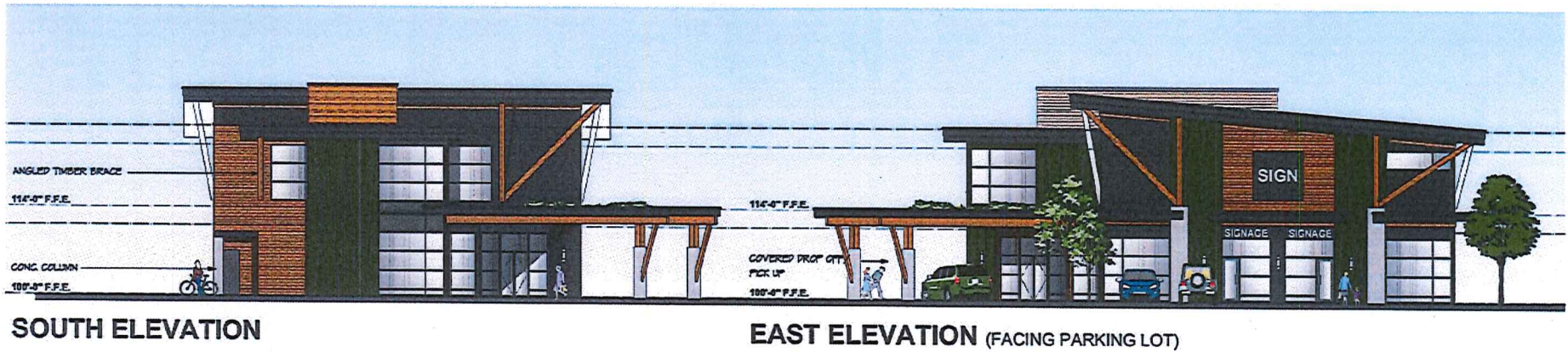
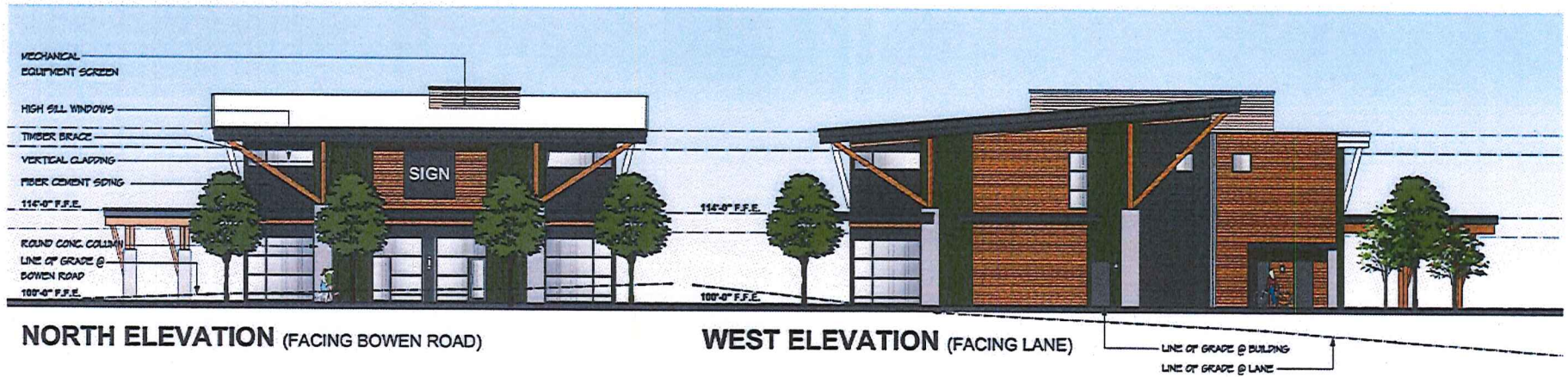
PROJECT # 31362-24-15  
ISSUED 13 AUG 2015  
REVISED 07 OCT 2015  
REVISED 26 OCT 2015  
REVISED 30 OCT 2015  
ISSUED 16 NOV 2015  
DRAWING # PR1



Development Permit DP000966  
1629 Bowen Road

Schedule C

## BUILDING ELEVATIONS



### PROPOSED MEDICAL OFFICE

1629 Bowen Road  
Nanaimo, B.C.

DELINCA

PROJECT # 01382-24-15  
ISSUED: 13 AUG 2015  
REVISED: 07 OCT 2015  
REVISED: 20 OCT 2015  
REVISED: 30 OCT 2015  
ISSUED: 16 NOV 2015

DRAWING #

PR6

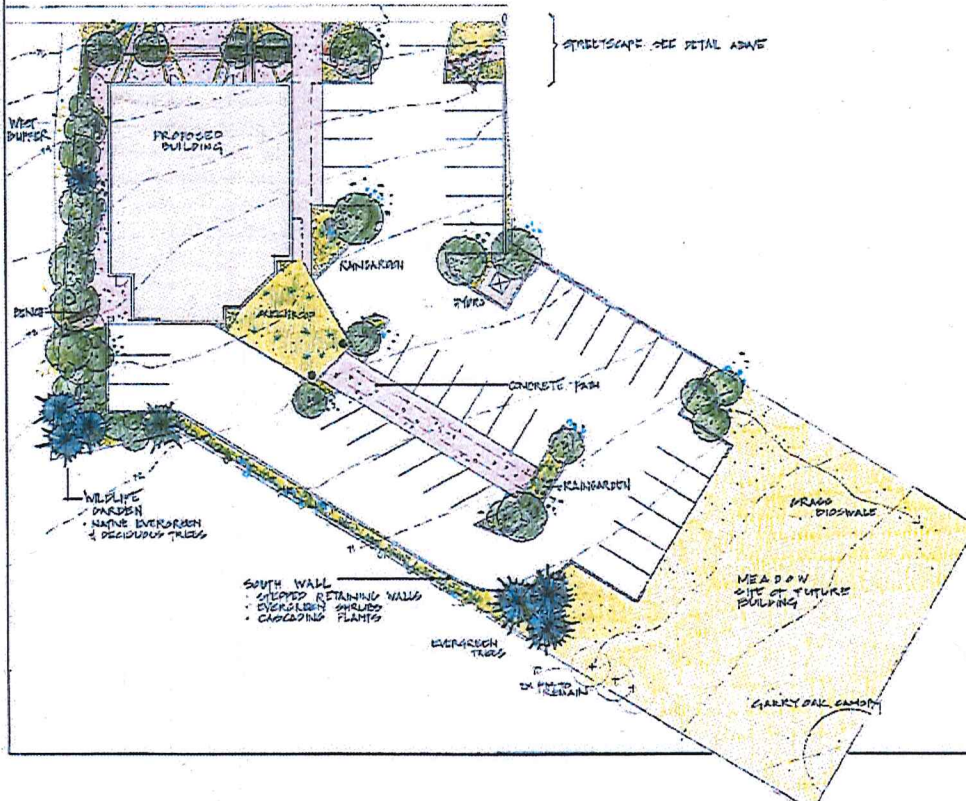


### Schedule D

The architectural drawings include:

- SECTION:** A cross-section of the building showing the roof, walls, and floor. Labels include: STREET PLANT, BUILDING PLANT, ROOF, WIND BREAK, CONCRETE SHARD, and BOWEN ROAD.
- DETAIL:** A detailed view of the concrete and wood elements. Labels include: CONCRETE SHARD, WOOD SHARD, and CONCRETE SHARD.
- PLAN:** A top-down view of the building and its surroundings. Labels include: PROPOSED BUILDING, STREET PLANT, CONCRETE SHARD, BOWEN ROAD, PARKING, and TIMBER SCULPTURE BY ARCH.

Down Road

[illegible]

PLAN

1 2 3 4 5 10 20m 200m

|  |   |            |            |
|--|---|------------|------------|
| DATE   | 2/10/2018   | DATE       | 2018-10-10 |
| NAME   | WILL  | DISCUSSION |            |
| COUNSELLOR   |   |            |            |
| <p><b>LANDSCAPE AND WET</b><br/>         270 Glen St. Toronto<br/>         T.C. V8B 2S0<br/>         282-758-4339<br/>         www.thegardenroom.net</p> |   |            |            |
| PROJECT  | <p><b>PROPOSED MEDICAL OFFICE</b><br/>         1629 BURNHAM RD N. NANTANABO<br/>         SHELT DIST</p> <p><b>CONCEPTUAL LANDSCAPE PLAN</b></p> |            |            |
| SCALE  | AS SHOWN  | DATE       | 11/11/18   |
| DESIGNED BY  | SPRINKLED   |            |            |
| PROJECT NUMBER   | FINISH MATERIALS  |            |            |
| COUNSELLOR SIGNATURE   | L   |            |            |



Development Permit DP000966

Schedule E

1629 Bowen Road

1/2

## BUILDING RENDERING



## PROPOSED MEDICAL OFFICE

1629 Bowen Road  
Nanaimo, B.C.

**DELINIA**  
DESIGN & CONSTRUCTION LTD.

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PROJECT #: d1382.24.15  
ISSUED: 13.AUG.2015  
REVISED: 07.OCT.2015  
ISSUED: 15.NOV.2015  
DRAWING #:

**PR7**





## PROPOSED MEDICAL OFFICE

1629 Bowen Road  
Nanaimo, B.C.

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|            |             |
|------------|-------------|
| PROJECT #: | d1382.24.15 |
| ISSUED:    | 13 AUG 2015 |
| REVISED:   | 07 OCT 2015 |
| ISSUED:    | 15 NOV 2015 |
| DRAWING #: |             |

**PR8**